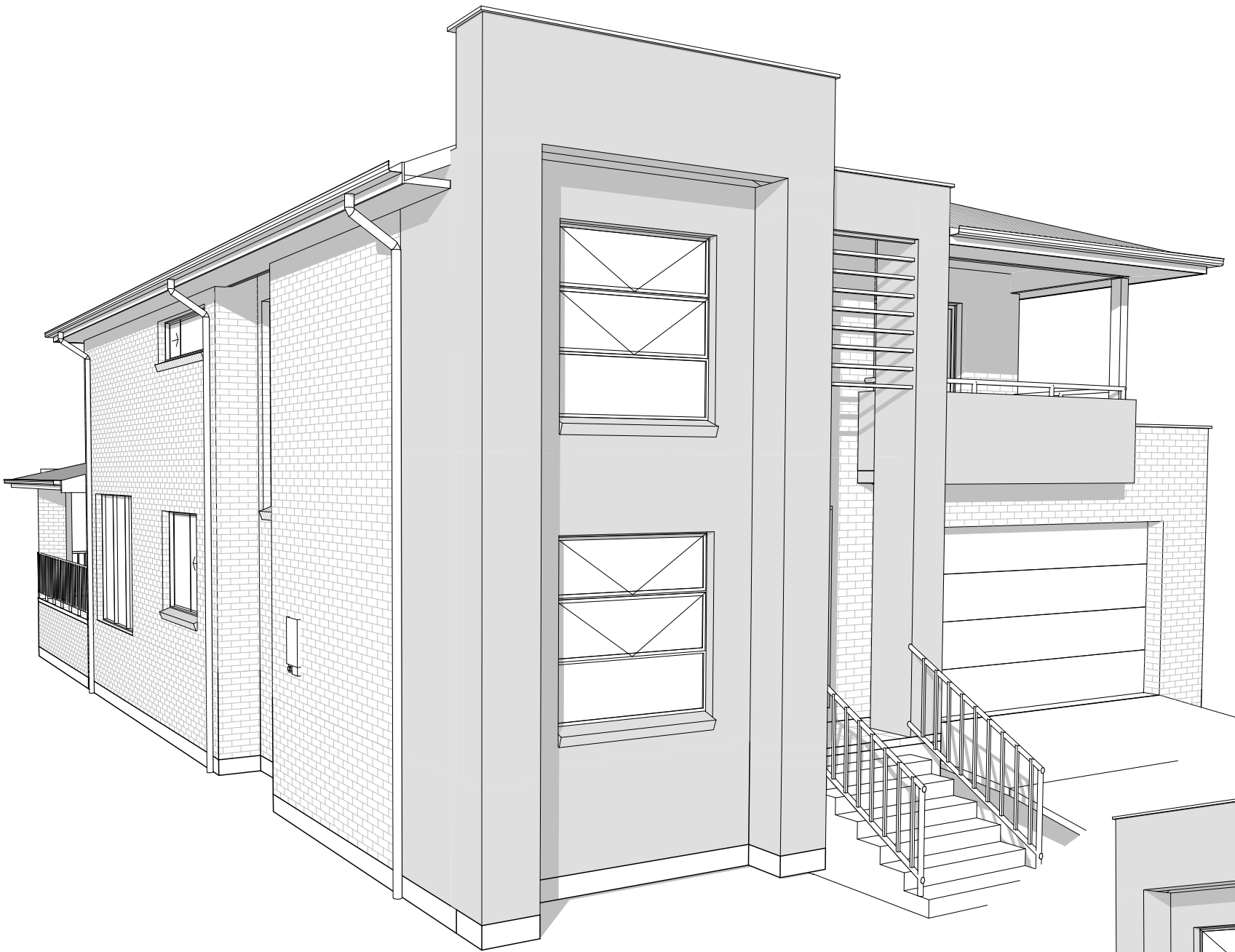


Aspiration 36 Designer Balcony

Page	Drawing
02	SITE PLAN
03	BENCHING PLAN
04	GROUND FLOOR PLAN
05	FIRST FLOOR PLAN
06	ELEVATIONS
07	ELEVATIONS
08	SECTIONS
09	SCHEDULES
10	SITE ANALYSIS PLAN
11	SHADOW DIAGRAMS MARCH
12	SHADOW DIAGRAMS JUNE
13	SHADOW DIAGRAMS SEP
14	SHADOW DIAGRAMS DEC



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PRESTIGE ESSENTIALS



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PROJECT:	JOB No:
PROPOSED BRICK VENEER DWELLING	208754
CLIENT:	
Mr A D LE & Mrs H T T HA	
ADDRESS:	
Lot 11 No.323 MARION STREET YAGOONA	

DA SCHEDULE		
<u>SITE DETAILS</u>		
LGA CONTROL	Canterbury - Bankstown	
LOT NUMBER/DP NUMBER	11 / 229452	
ZONE & LOT WIDTH	R2	15.279m
SITE AREA	556.40 m ²	
<u>DWELLING AREAS</u>		
GROUND FLOOR LIVING	152.27 m ²	
FIRST FLOOR LIVING	141.07 m ²	
PORCH	2.31 m ²	
PATIO	0.00 m ²	
FRONT BALCONY	7.53 m ²	
REAR BALCONY	0.00 m ²	
GARAGE	39.23 m ²	
OUTDOOR LEISURE	20.89 m ²	
TOTAL :	363.30 m²	
DRIVE AREA	47.98 m ²	
ROOF AREA (drained to tank)	229.65 m ²	
<u>SITE COVERAGE</u> (Single storey/Lower floor)		
MAXIMUM SITE COVERAGE	0.00 m ² / 0.00%	
ACTUAL SITE COVERAGE	191.50 m²/ 34.42%	
<u>FLOOR SPACE RATIO</u>		
MAXIMUM FLOOR SPACE/FSR	278.20 m ² / 50.00%	
ACTUAL FLOOR SPACE/FSR	256.83 m²/ 46.16%	
<u>LANDSCAPING AREAS</u>		
MINIMUM LANDSCAPING	0.00 m ² / 0.00%	
ACTUAL LANDSCAPING	253.10 m²/ 45.49%	
<u>PRIVATE OPEN SPACE</u>		
MINIMUM POS	80.00 m ² / 5m	
ACTUAL POS	143.75 m²/ 15.285x9.252	

'H1' CLASS SLAB

SALINE AFFECTED

FLOOD AFFECTED SITE

Lot 11 No.323
AREA: 556.4 m²

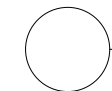
STORMWATER DRAINAGE TO STREET.
REFER TO HYDRAULIC ENGINEER DETAILS.

ANY RETAINING WALLS REQUIRED TO BE
COMPLETED BY OWNERS TO
MANUFACTURERS SPECIFICATIONS.

FILL SITE APPROX. **995mm & 610mm** TO
FORM JOB DATUM **R.L 32.115 & R.L**
31.850 (AHD) DATUM POINT 385mm
BELOW FINISHED FLOOR LEVEL.
EXTENT OF EXCAVATION AND BATTERS
TO BE DETERMINED ON SITE.

 PROPOSED EXCAVATION  EXISTING STRUCTURE TO BE DEMOLISHED BY OWNER




(X) - EASEMENT FOR DRAINAGE 2.44 WIDE.

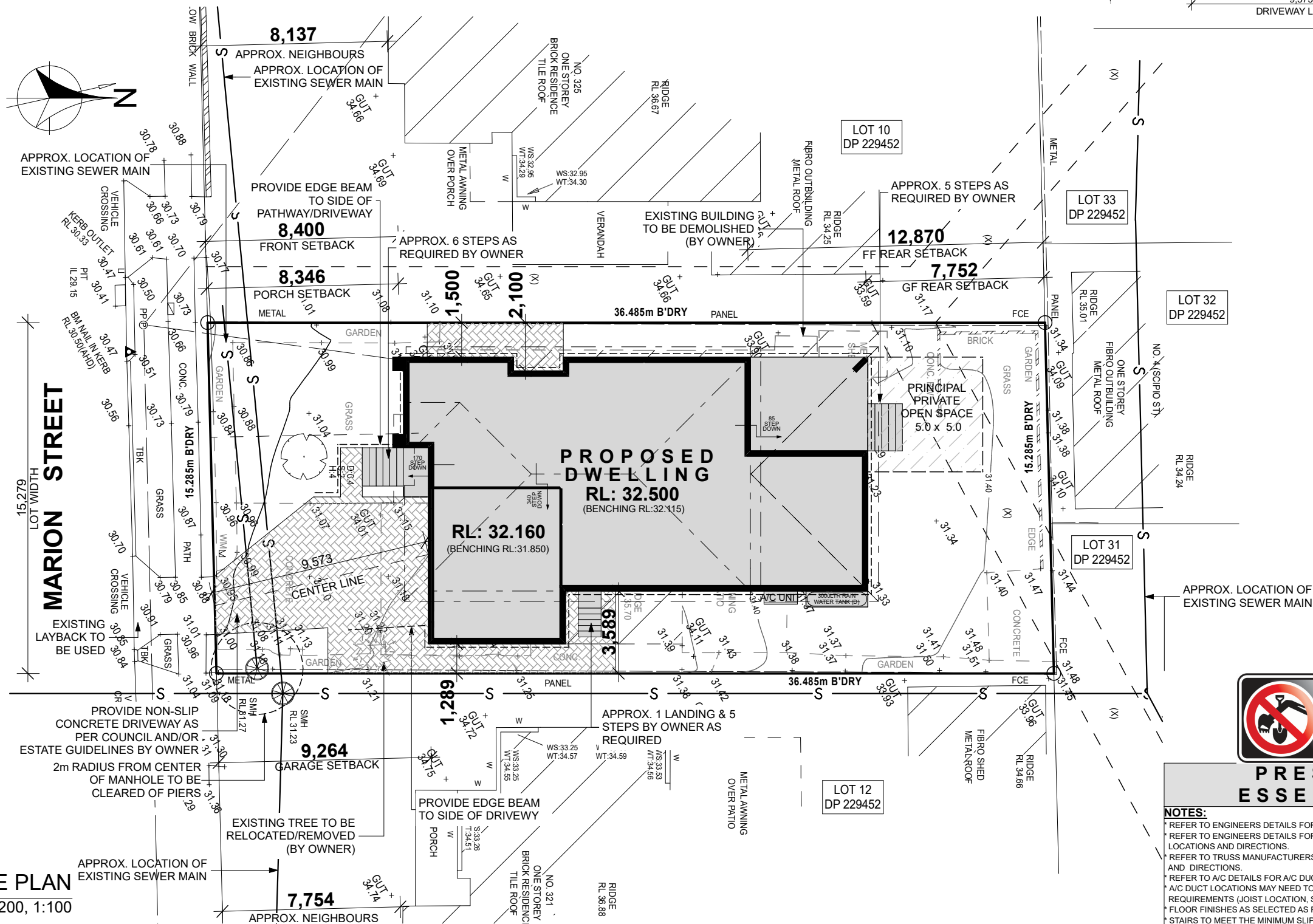
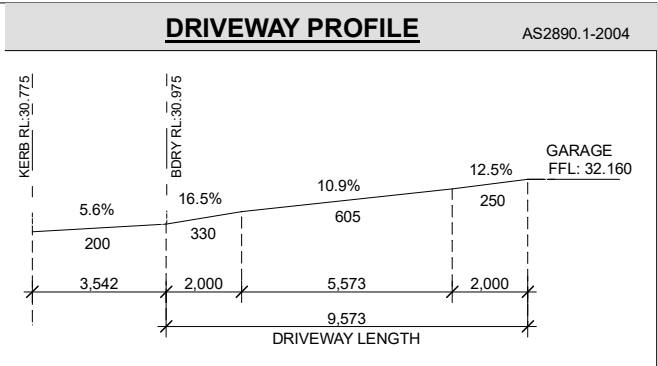


SITE PLAN

1:200, 1:100

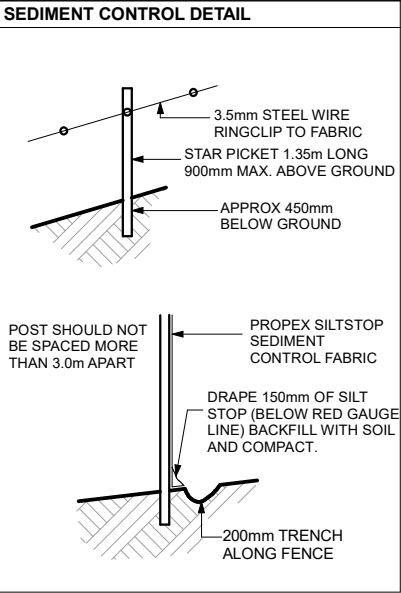
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 1300 855 775 wisdomhomes.com.au	PROJECT: PROPOSED BRICK VENEER DWELLING	 EXHAUST FAN  SMOKE ALARM AS 3786-1993	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: 208754	DRAWN: ITS
	CLIENT: Mr A D LE & Mrs H T T HA			ISSUE	DESCRIPTION	DRAWN	DATE	LGA: CANTERBURY - BANKSTOWN	PLOT DATE: 26/09/2022
	ADDRESS: Lot 11 No.323 MARION STREET YAGOONA	LODGEMENT: D.A/C.C	DP No: 229452	A-6	EMAIL DATED 11/08/22	ITSNK	31.0116/08/22	DESIGN: ASPIRATION 36	SLAB CLASS: 'H1' CLASS
		*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.		A-2	CONSULTATION PLANS	NK	23/05/22	FACADE: DESIGNER BALCONY	SHEET: 02



PRESTIGE ESSENTIALS

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* REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
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* STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 of BCA 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013



NOTE: PROVIDE 1.8m HIGH SECURITY FENCE TO PERIMETER OF SITE AS REQUIRED BY COUNCIL

'H1' CLASS SLAB
SALINE AFFECTED
FLOOD AFFECTED SITE

Lot 11 No.323
AREA: 556.4 m²

STORMWATER DRAINAGE TO STREET.
REFER TO HYDRAULIC ENGINEER DETAILS.

ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURERS SPECIFICATIONS.


FILL SITE APPROX. **995mm & 610mm** TO FORM JOB DATUM **R.L 32.115 & R.L 31.850** (AHD) DATUM POINT 385mm BELOW FINISHED FLOOR LEVEL.
EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

PROPOSED EXCAVATION
EXISTING STRUCTURE TO DEMOLISHED BY OWNER

(X) - EASEMENT FOR DRAINAGE 2.44 WIDE.

BENCHING PLAN
1:200

FILE PATH: T:\ WISDOM HOMES\2022\208754 LE HA\208754 LE-HA SUBMISSION.pln



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PROJECT:
PROPOSED BRICK VENEER DWELLING

CLIENT:
Mr A D LE & Mrs H T T HA

ADDRESS:
Lot 11 No.323 MARION STREET YAGOONA

EXHAUST FAN

SMOKE ALARM AS 3786-1993

LODGEMENT:
D.A/C.C

DP No:
229452

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REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
A-6	EMAIL DATED 11/08/22	ITSNK	31.0116/08/22
B-7	SUBMISSION PLANS	MDI	20.09.22
A-2	CONSULTATION PLANS	NK	23/05/22
A-3	EMAIL DATED 26/05/22	NK	26/05/22
A-4	AMENDED CONSULT PLANS	WCL	21.6.22
A-5	EMAIL DATED 27/07/22	NK	28/07/22

JOB No:
208754

LGA:
CANTERBURY - BANKSTOWN

DESIGN:
ASPIRATION 36

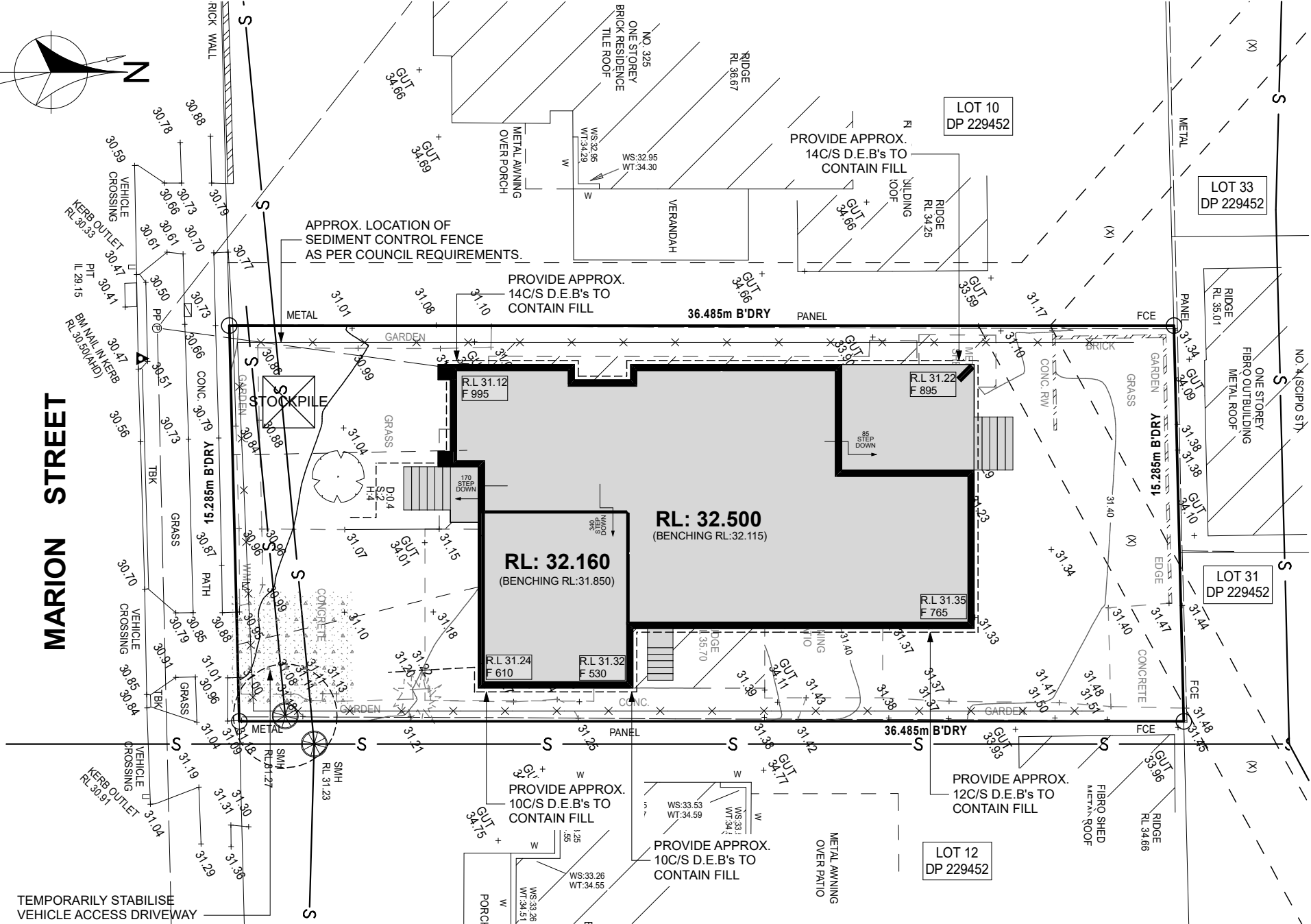
FACADE:
DESIGNER BALCONY

DRAWN:
ITS

PLOT DATE:
26/09/2022

SLAB CLASS:
'H1' CLASS

SHEET:
03



BASIX SCHEDULE

WATER COMMITMENTS
Taps: Basins-6*, Toilets-4*, Showers-3*, Kitchen-4*
Rainwater Tank-3000 litres from 230m2 of roof
Connect tank to: W/Machine, toilets & 1 garden tap

THERMAL COMFORT
Wind driven ventilator to roof space
Roof Insulation: Reflective foil Sarking
Ceiling insulation: R4.1
Wall insulation: R2.7
Floor Insulation: None
R2.5 Soundscreen batts between floor joists (Excl. Garage)


ENERGY COMMITMENTS
Hot Water: Gas instantaneous - 6 Star
Cooling System: 3 phase air cond. 3.0-3.5 EER (Zoned)
Heating System: 3 phase air cond. 3.5-4.0 EER (Zoned)
Cooking system: Gas cooktop & electric oven
Natural lighting to Baths and Kitchen
Compact fluorescent lighting throughout
Provide well ventilated Fridge space
Provide outdoor clothesline (by owner)

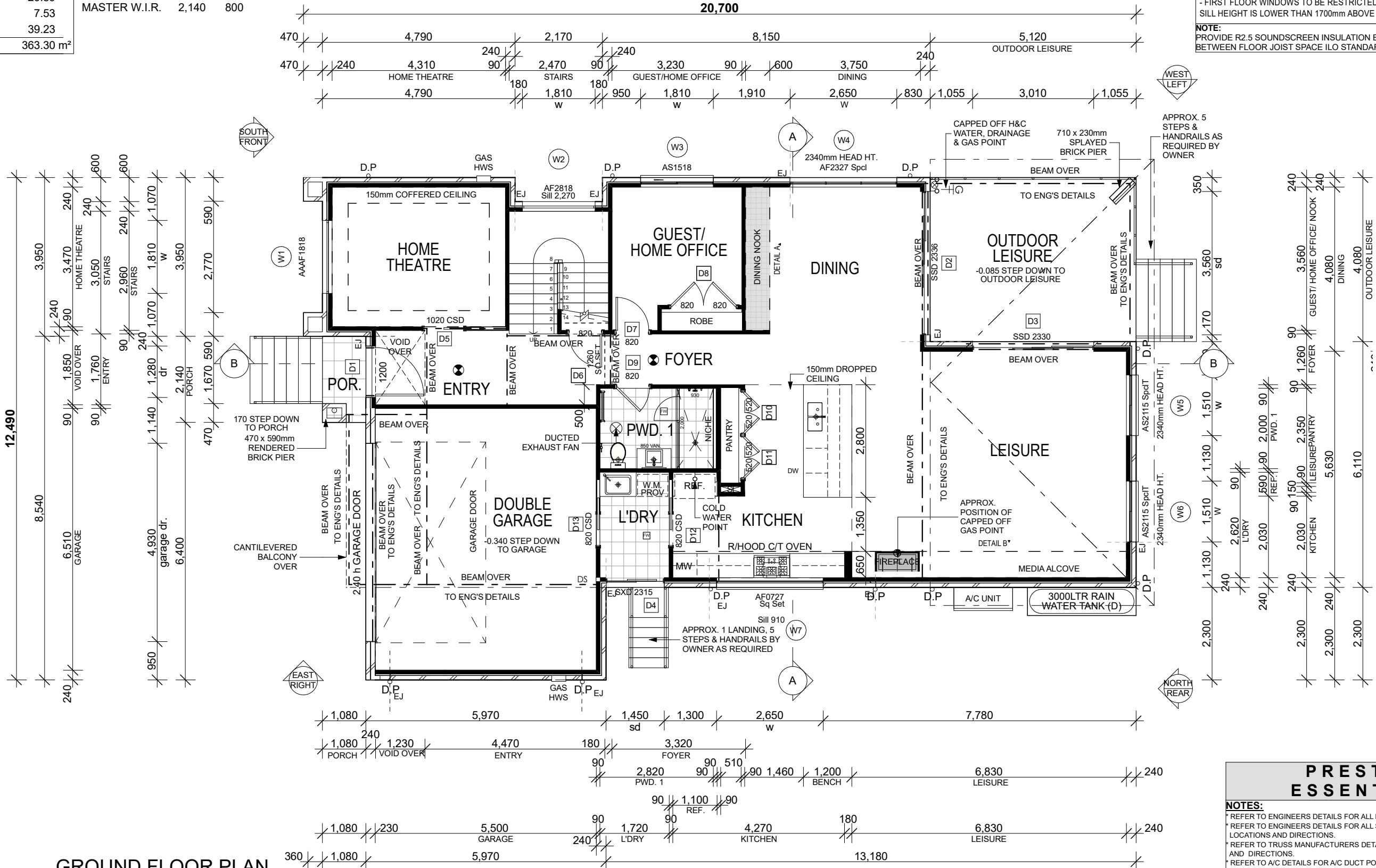
NOTE: PROVIDE ABOVE 6.5KW POWER TO THE MINIMUM REQUIREMENTS
PLEASE REFER TO THE BASIX CERTIFICATE FOR SPECIFIC REQUIREMENTS



PRESTIGE ESSENTIALS

NOTES:
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* FLOOR FINISHES AS SELECTED AS PER TENDER.
* STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 of BCA 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013




Area	m²	Square Set Location	Size		NOTE: - APPLIANCES ARE INDICATIVE, REFER TO SELECTIONS FOR DETAILS. - ALL CABINETRY DESIGN AND LAYOUT TO BE AS PER SUPPLIER'S DETAILS. - IN CASE OF ANY DISCREPANCY SUPPLIER'S DETAILS WILL PREVAIL.	NOTE: - APPLIANCES ARE INDICATIVE, REFER TO SELECTIONS FOR DETAILS. - ALL CABINETRY DESIGN AND LAYOUT TO BE AS PER SUPPLIER'S DETAILS. - IN CASE OF ANY DISCREPANCY SUPPLIER'S DETAILS WILL PREVAIL.	NOTES: - STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT. - STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF B.C.A 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013. - OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 - FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL. NOTE: PROVIDE R2.5 SOUNDSREEN INSULATION BETWEEN GF & FF, POSITIONED BETWEEN FLOOR JOIST SPACE ILO STANDARD (EXCLUDES GARAGE).
			Height	Width			
LOWER FLOOR	152.27						
UPPER FLOOR	141.07	BED 3 W.I.R.	2,140	800			
PORCH	2.31	ENTRY/FOYER	2,340	1,260			
OUTDOOR LEISURE	20.89						
BALCONY FRONT	7.53	MASTER W.I.R.	2,140	800			
GARAGE	39.23						
363.30 m²							



GROUND FLOOR PLAN

1:100

FILE PATH: T:\ WISDOM HOMES\2022\208754 LE_HA\208754 LE-HA SUBMISSION.pln

 1300 855 775 wisdomhomes.com.au	PROJECT: PROPOSED BRICK VENEER DWELLING	 EXHAUST FAN  SMOKE ALARM AS 3786-1993	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: 208754	DRAWN: ITS
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	ADDRESS: Lot 11 No.323 MARION STREET YAGOONA			A-6	EMAIL DATED 11/08/22	ITSNK	31.0116/08/22	DESIGN: ASPIRATION 36	SLAB CLASS: 'H1' CLASS
		LODGEMENT: D.A/C.C	DP No: 229452	A-2	CONSULTATION PLANS	NK	23/05/22	FACADE: DESIGNER BALCONY	SHEET: 04
*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.				A-3	EMAIL DATED 26/05/22	NK	26/05/22		
				A-4	AMENDED CONSULT PLANS	WCL	21.6.22		
				A-5	EMAIL DATED 27/07/22	NK	28/07/22		

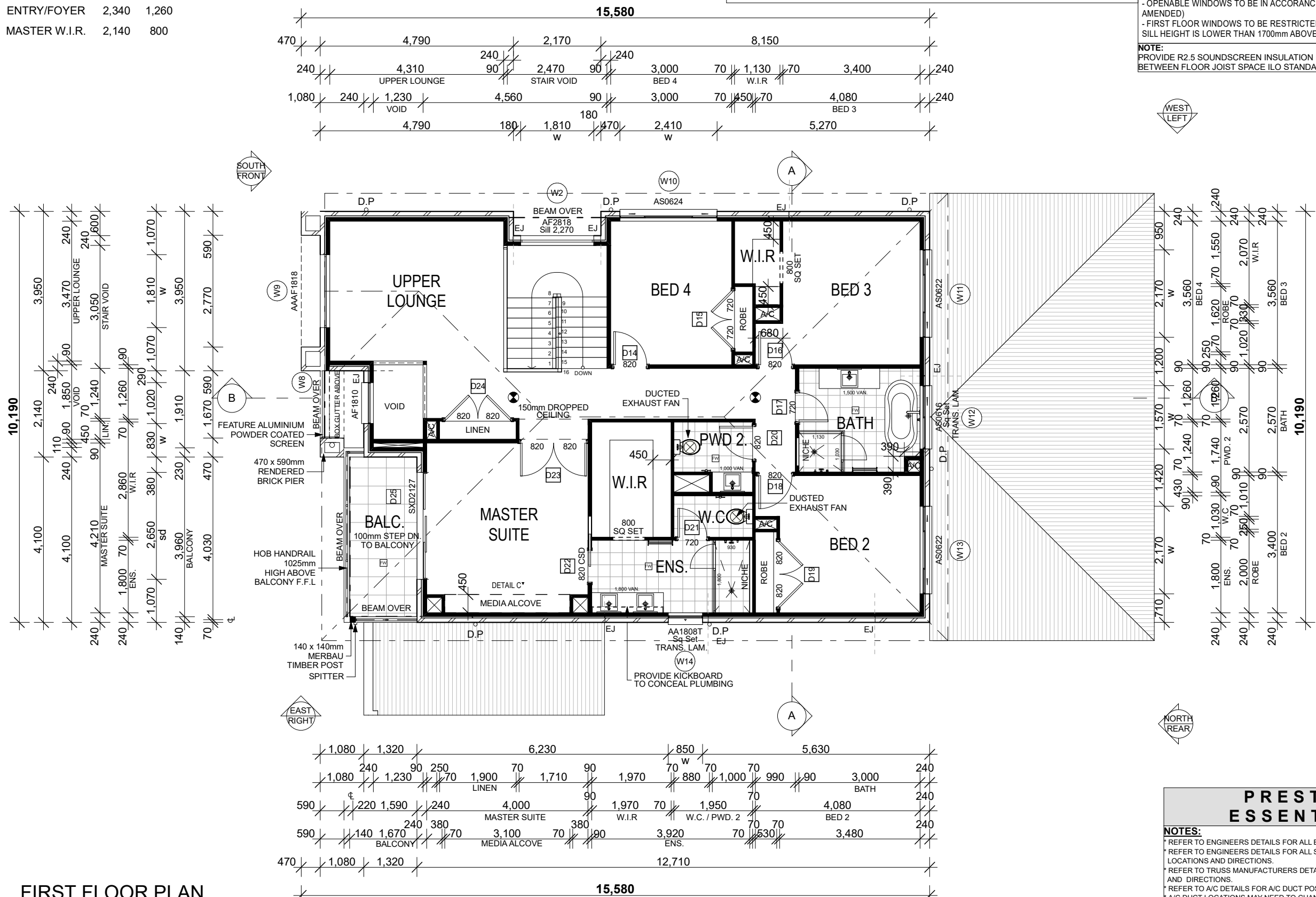
Area	m ²	Square Set Location	Size	
			Height	Width
LOWER FLOOR	152.27			
UPPER FLOOR	141.07	BED 3 W.I.R.	2,140	800
PORCH	2.31	ENTRY/FOYER	2,340	1,260
OUTDOOR LEISURE	20.89			
BALCONY FRONT	7.53	MASTER W.I.R.	2,140	800
GARAGE	39.23			

NOTE:
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 - IN CASE OF ANY DISCREPANCY SUPPLIER'S DETAILS WILL PREVAIL.

NOTES:

- STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT.
- STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF NCC-2019 (OR AS AMENDED) WHEN TESTED IN ACCORDANCE WITH AS4586
- OPENABLE WINDOWS TO BE IN ACCORDANCE WITH THE NCC-2019 (OR AS AMENDED)
- FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

NOTE:
PROVIDE R2.5 SOUNDSREEN INSULATION BETWEEN GF & FF, POSITIONED
BETWEEN FLOOR JOIST SPACE ILO STANDARD (EXCLUDES GARAGE).



**PRESTIGE
ESSENTIALS**

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REVISION SCHEDULE				JOB No:	DRAWN:	
ISSUE	DESCRIPTION	DRAWN	DATE	208754	ITS	
A-6	EMAIL DATED 11/08/22	ITSNK	31.0116/08/22		LGA: CANTERBURY - BANKSTOWN	PLOT DATE: 26/09/2022
B-7	SUBMISSION PLANS	MDI	20.09.22			SLAB CLASS: 'H1' CLASS
A-2	CONSULTATION PLANS	NK	23/05/22		DESIGN:	SHEET: 05
A-3	EMAIL DATED 26/05/22	NK	26/05/22		ASPIRATION 36	
A-4	AMENDED CONSULT PLANS	WCL	21.6.22		FACADE: V21	
A-5	EMAIL DATED 27/07/22	NK	28/07/22		DESIGNER BALCONY	

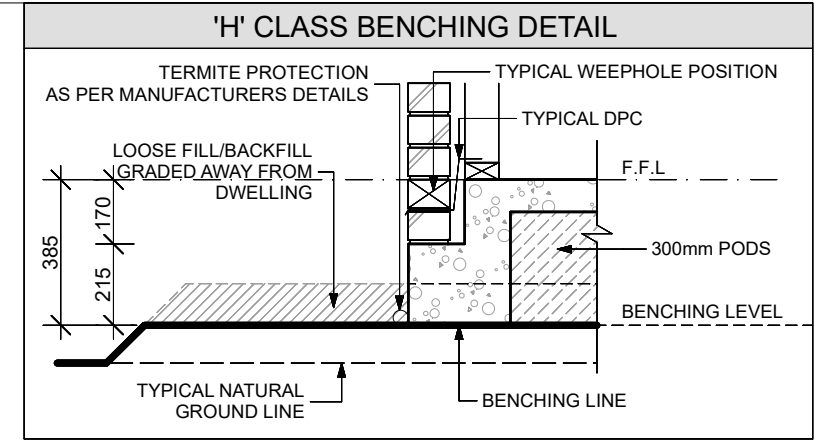
05



WISDOM

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- STAKE POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT
- THINGS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF B.C.A 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013.
- OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2
- FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



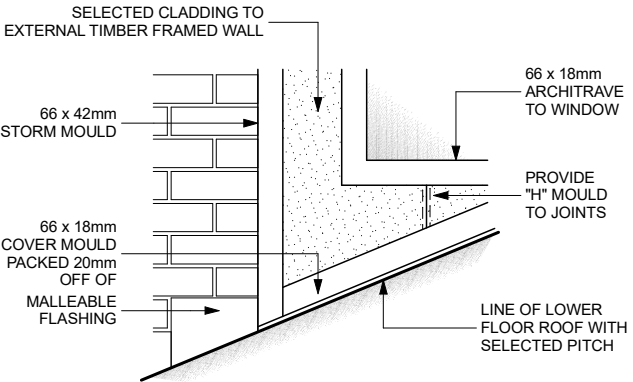
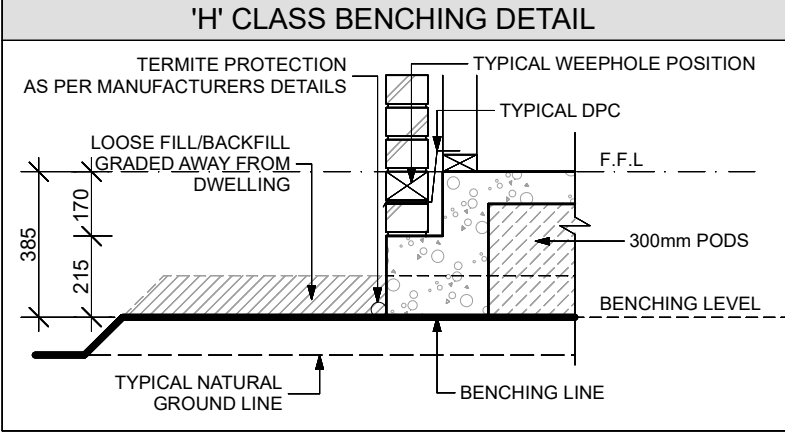
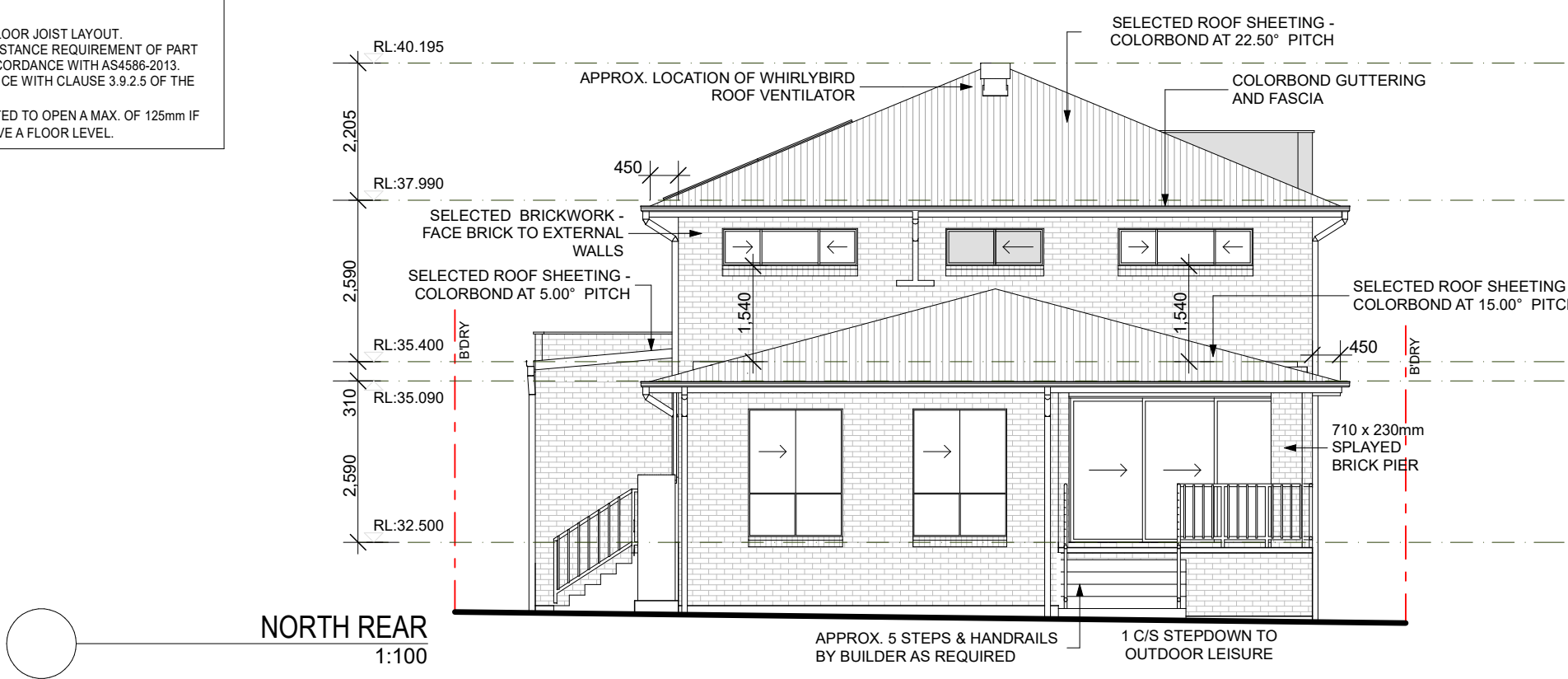
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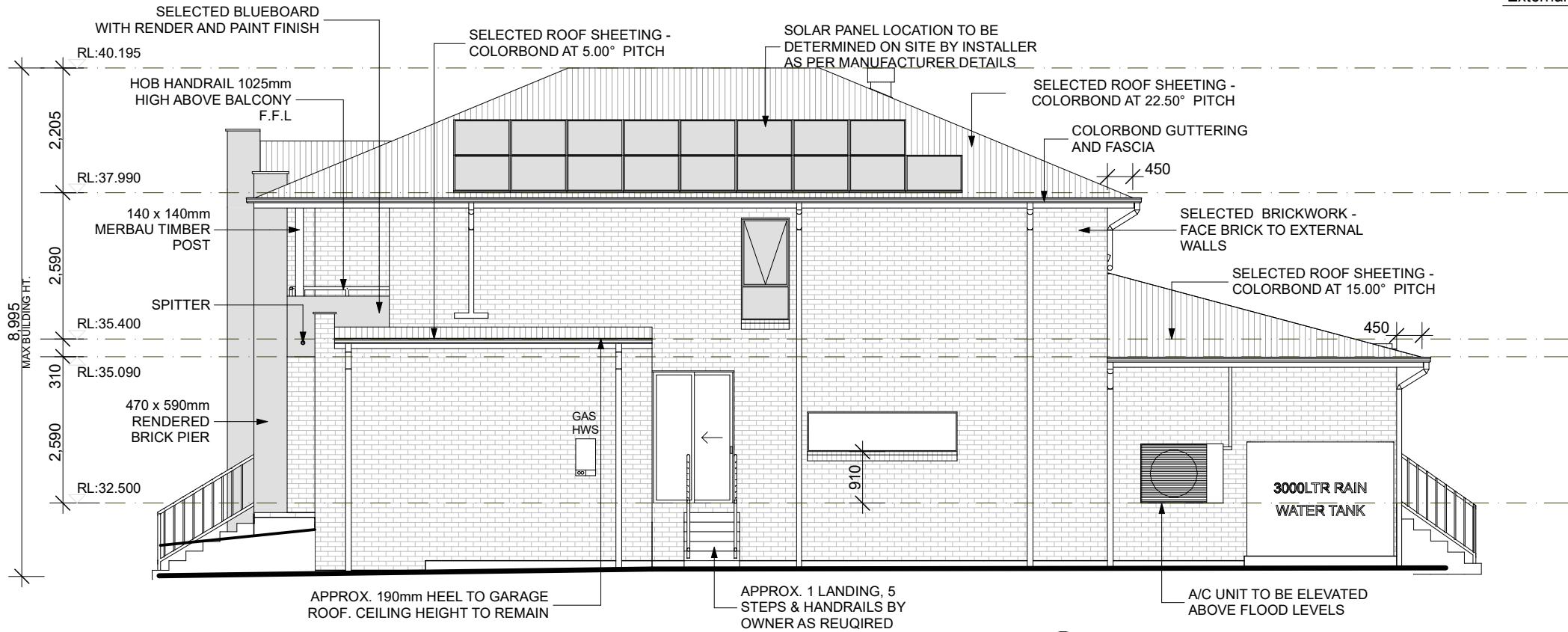
06

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External Moulding & Architrave Detail
1:20



ELEVATIONS
1:100

EAST RIGHT
1:100

PRESTIGE ESSENTIALS

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FACADE:	DESIGNER BALCONY		

FILE PATH: T:\ WISDOM HOMES\2022\208754 LE HA\208754 LE-HA SUBMISSION.pln



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EXHAUST FAN
SMOKE ALARM AS 3786-1993
LODGEMENT:
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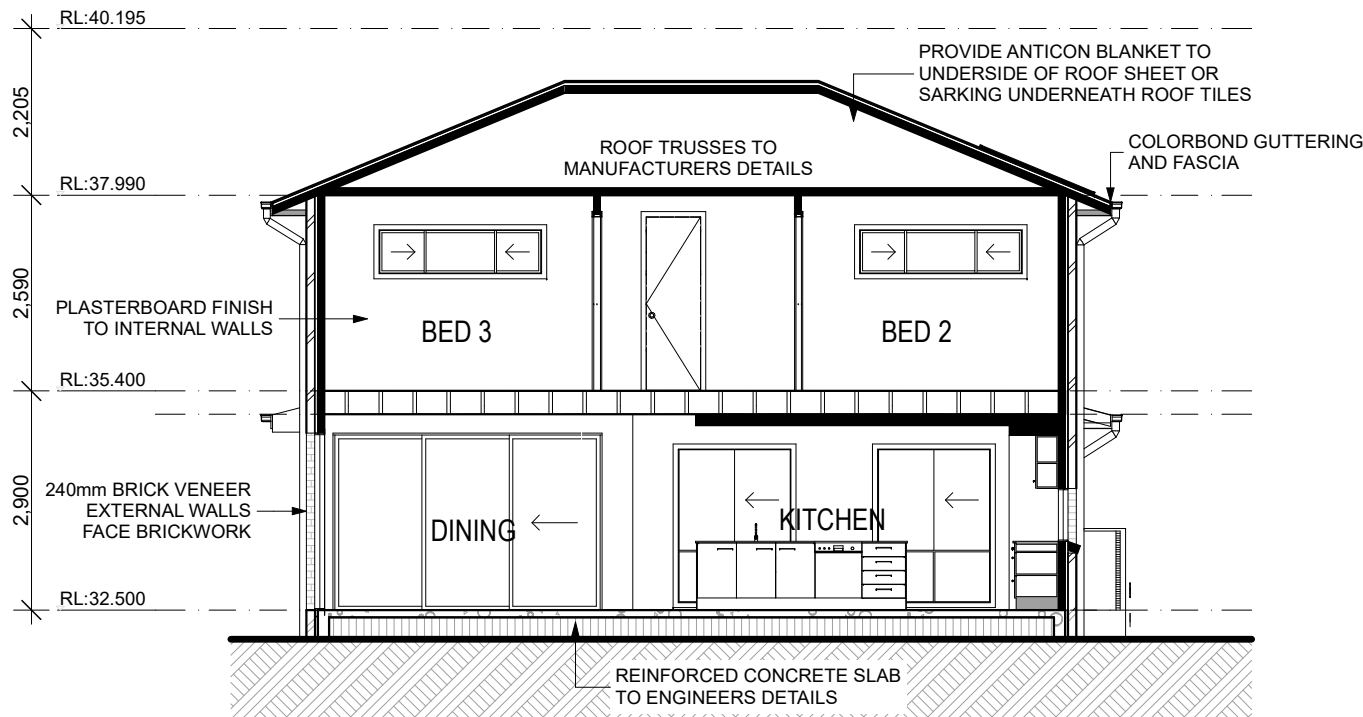
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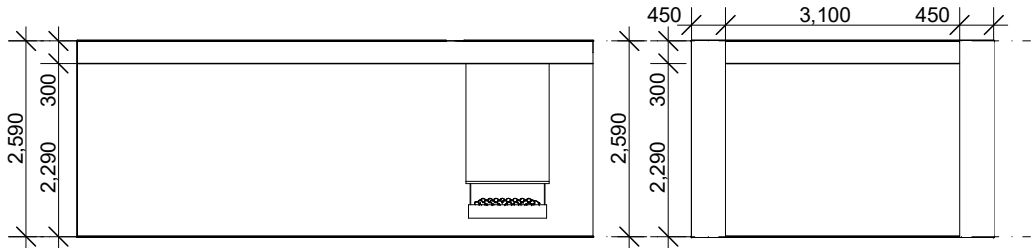
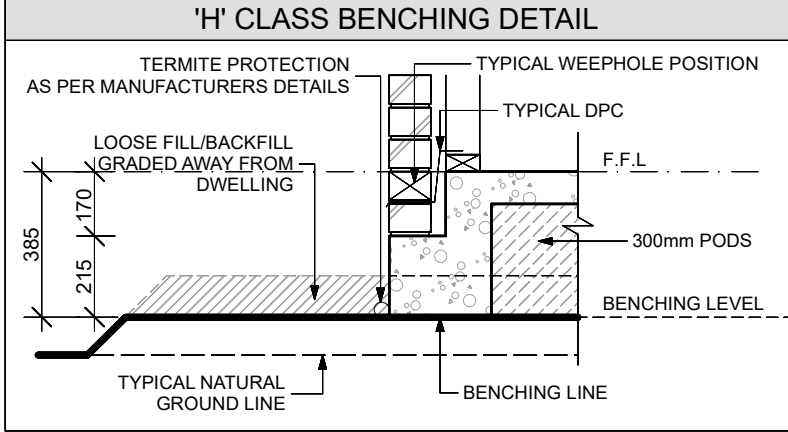
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A-2	CONSULTATION PLANS	NK	23/05/22
A-3	EMAIL DATED 26/05/22	NK	26/05/22
A-4	AMENDED CONSULT PLANS	WCL	21.6.22
A-5	EMAIL DATED 27/07/22	NK	28/07/22

NOTES:

- STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT.
- STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF B.C.A 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013.
- OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2
- FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

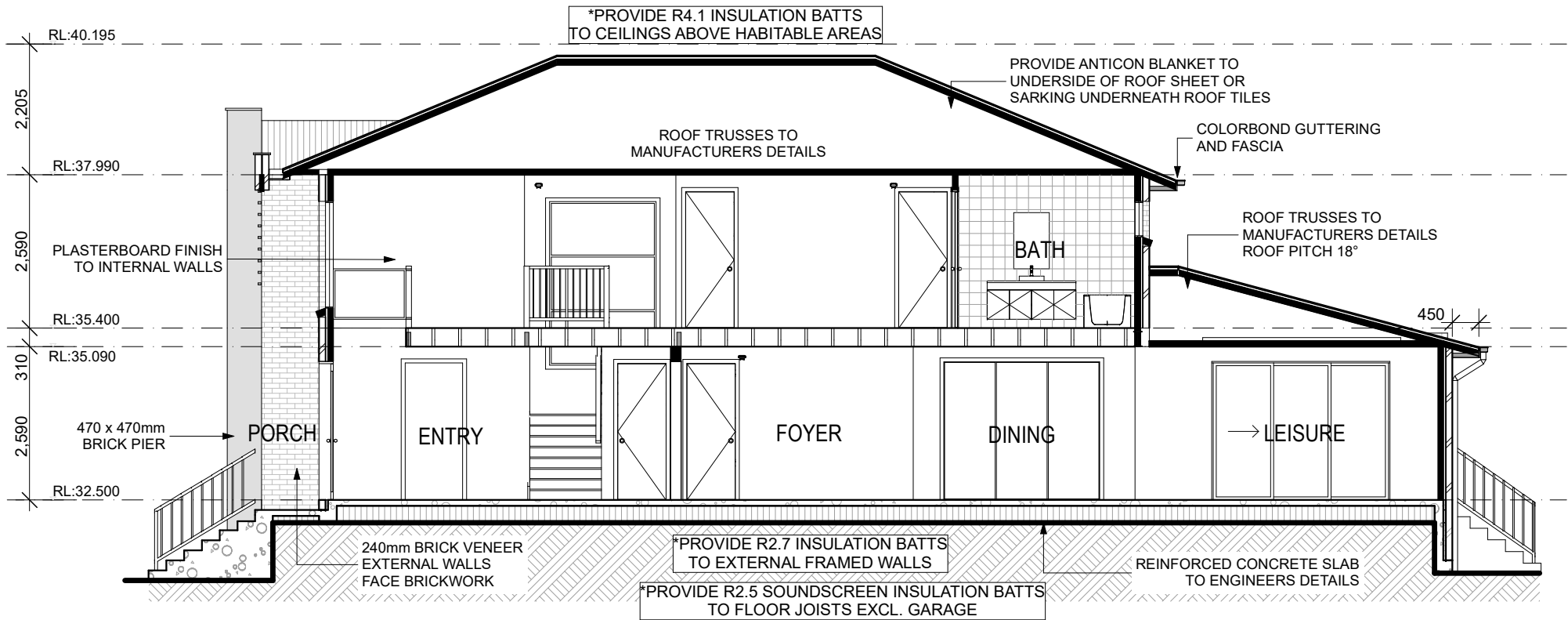


SECTION A-A
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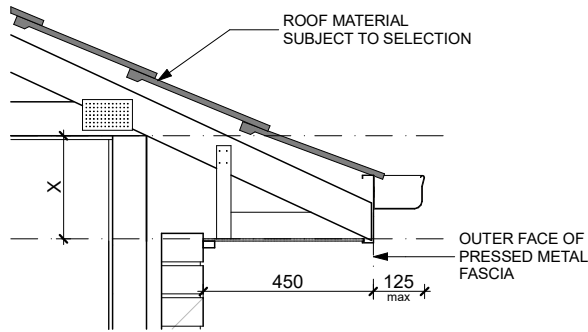
DETAIL 'A'
LEISURE
MEDIA ALCOVE

DETAIL 'B'
MASTER SUITE
MEDIA ALCOVE



SECTIONS
1:100

SECTION B-B
1:100



TILE		SHEET
22.5° pitch	X= 265mm drop off	295mm drop off
25° pitch	X= 295mm drop off	325mm drop off
27.5° pitch	X= 312mm drop off	342mm drop off
30° pitch	X= 330mm drop off	360mm drop off

Eave Detail
1:20

PRESTIGE ESSENTIALS

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- * REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
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- * FLOOR FINISHES AS SELECTED AS PER TENDER.
- * STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF BCA 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013

FILE PATH: T:\ WISDOM HOMES\2022\208754 LE HA\208754 LE-HA SUBMISSION.pln



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PROJECT:
PROPOSED BRICK VENEER DWELLING

CLIENT:
Mr A D LE & Mrs H T T HA

ADDRESS:
**Lot 11 No.323 MARION STREET
YAGOONA**

⊗ EXHAUST FAN
⊗ SMOKE ALARM AS 3786-1993

LODGEMENT:
D.A/C.C

DP No:
229452

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ISSUE	DESCRIPTION	DRAWN	DATE
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A-5	EMAIL DATED 27/07/22	NK	28/07/22

JOB No:
208754

LGA:
CANTERBURY - BANKSTOWN

DESIGN:
ASPIRATION 36

FACADE:
DESIGNER BALCONY

V21

DRAWN:
ITS

PLOT DATE:
26/09/2022

SLAB CLASS:
'H1' CLASS

SHEET:
08

Door Schedule								
Door No.	Type	Door Size		Plan View	Elev. View	Glazing	Frame and Reveal	Notes
		Height	Width					
D1	External door	2,340	1,200			Trans/Lam	240mm BV	
D2	SSD 2336	2,340	3,560			6mm clear	240mm BV	
D3	SSD 2330	2,340	3,010			6mm clear	240mm BV	
D4	SXD 2315	2,340	1,450			6mm clear	240mm BV	
D5	Cavity S/D	2,340	1,020				90mm TF	
D6	Hung door	2,340	820				90mm TF	
D7	Hung door	2,340	820				90mm TF	
D8	2x Hung door	2,040	1,640				90mm TF	
D9	Hung door	2,340	820				90mm TF	
D10	2x Hung door	2,340	1,040				90mm TF	
D11	2x Hung door	2,340	1,040				90mm TF	
D12	Cavity S/D	2,340	820				90mm TF	
D13	Cavity S/D	2,340	820				90mm TF	
D14	Hung door	2,340	820				90mm TF	
D15	2x Hung door	2,040	1,440				70mm TF	
D16	Hung door	2,340	820				90mm TF	
D17	Hung door	2,340	720				90mm TF	
D18	Hung door	2,340	820				90mm TF	
D19	2x Hung door	2,040	1,640				70mm TF	
D20	Hung door	2,340	820				70mm TF	
D21	Hung door	2,340	720				70mm TF	
D22	Cavity S/D	2,340	820				90mm TF	
D23	2x Hung door	2,340	1,640				90mm TF	
D24	2x Hung door	2,340	1,640				70mm TF	
D25	SXD2118	2,140	2,650			6mm clear	240mm BV	

Window Schedule								
Window No.	Type	Window Size		Plan View	Elev. View	Glazing	Frame and Reveal	Notes
		Height	Width					
W1	---	1,800	1,810			Glass - Single Clear	240mm BV	
W2	---	2,770	1,810			Glass - Single Clear	240mm BV	2120mm Sill ht.
W3	AS1518	1,500	1,810			Glass - Single Clear	240mm BV	
W4	AF2327 Spcl	2,340	2,650			Glass - Single Clear	240mm BV	
W5	AS2115 SpclT	2,050	1,510			Glass - Single Clear	240mm BV	
W6	AS2115 SpclT	2,050	1,510			Glass - Single Clear	240mm BV	
W7	AF0727	700	2,650			Glass - Single Clear	240mm BV	Sq Set
W8	AF1810 Spcl	1,800	1,020			Glass - Single Clear	240mm BV	1885mm Head ht.
W9	---	1,800	1,810			Glass - Single Clear	240mm BV	
W10	AS0624	600	2,410			Glass - Double	240mm BV	
W11	AS0622	600	2,170			Glass - Double	240mm BV	
W12	AS0616	600	1,570			Glass - Trans Lam	240mm BV	Sq Set
W13	AS0622	600	2,170			Glass - Double	240mm BV	
W14	AA1808T	1,800	850			Glass - Trans Lam	240mm BV	Sq Set




SCHEDULES

1:1

NOTE:
REFER TO TENDER FOR FLYSCREENS
AND FLYDOORS DETAILS (IF PROVIDED)

PRESTIGE
ESSENTIALS

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 1300 855 775 wisdomhomes.com.au	PROJECT: PROPOSED BRICK VENEER DWELLING	 EXHAUST FAN  SMOKE ALARM AS 3786-1993 LODGEMENT: D.A/C.C DP No: 229452 *COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: 208754	DRAWN: ITS
	CLIENT: Mr A D LE & Mrs H T T HA			ISSUE	DESCRIPTION	DRAWN	DATE	LGA: CANTERBURY - BANKSTOWN	PLOT DATE: 26/09/2022
	ADDRESS: Lot 11 No.323 MARION STREET YAGOONA			A-6	EMAIL DATED 11/08/22	ITSNK	31.0116/08/22	SLAB CLASS: 'H1' CLASS	09
				B-7	SUBMISSION PLANS	MDI	20.09.22	DESIGN: ASPIRATION 36	
				A-2	CONSULTATION PLANS	NK	23/05/22	FACADE: DESIGNER BALCONY	

SITE ANALYSIS KEY

(1)

SINGLE STOREY

(2)

TWO STOREY

OVERLOOKING

PREVAILING WINDS

P

PRIVATE OPEN SPACE

SUNLIGHT/SHADOWING

H1' CLASS SLAB

SALINE AFFECTED

FLOOD AFFECTED SITE

Lot 11 No.323

AREA: 556.4 m²

STORMWATER DRAINAGE TO STREET.
REFER TO HYDRAULIC ENGINEER DETAILS.

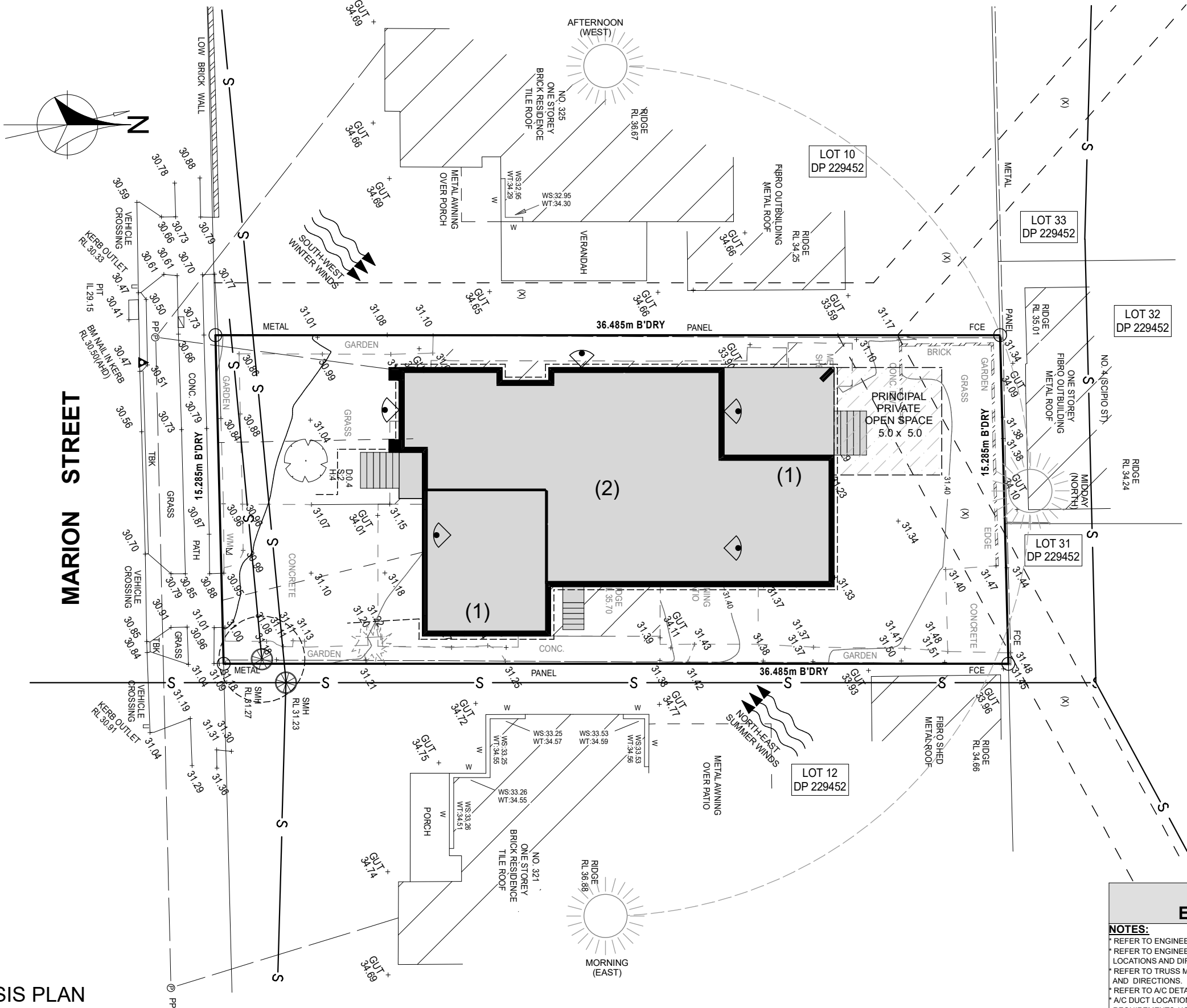
ANY RETAINING WALLS REQUIRED TO BE
COMPLETED BY OWNERS TO BE
MANUFACTURERS SPECIFICATIONS.

FILL SITE APPROX. **995mm & 610mm** TO
FORM JOB DATUM **R.L 32.115 & R.L**
31.850 (AHD) DATUM POINT 385mm
BELOW FINISHED FLOOR LEVEL.
EXTENT OF EXCAVATION AND BATTERS
TO BE DETERMINED ON SITE.

PROPOSED EXCAVATION

EXISTING STRUCTURE TO BE DEMOLISHED BY OWNER

(X) - EASEMENT FOR DRAINAGE 2.44
WIDE.



SITE ANALYSIS PLAN

1:200

FILE PATH: T:\ WISDOM HOMES\2022\208754 LE HA\208754 LE-HA SUBMISSION.pln



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EXHAUST FAN

SMOKE ALARM AS 3786-1993

LODGEMENT:

DP No:

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PRESTIGE
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JOB No:

208754

LGA:

CANTERBURY -
BANKSTOWN

DESIGN:

ASPIRATION 36

FACADE:

DESIGNER BALCONY

DRAWN:

ITS

PLOT DATE:

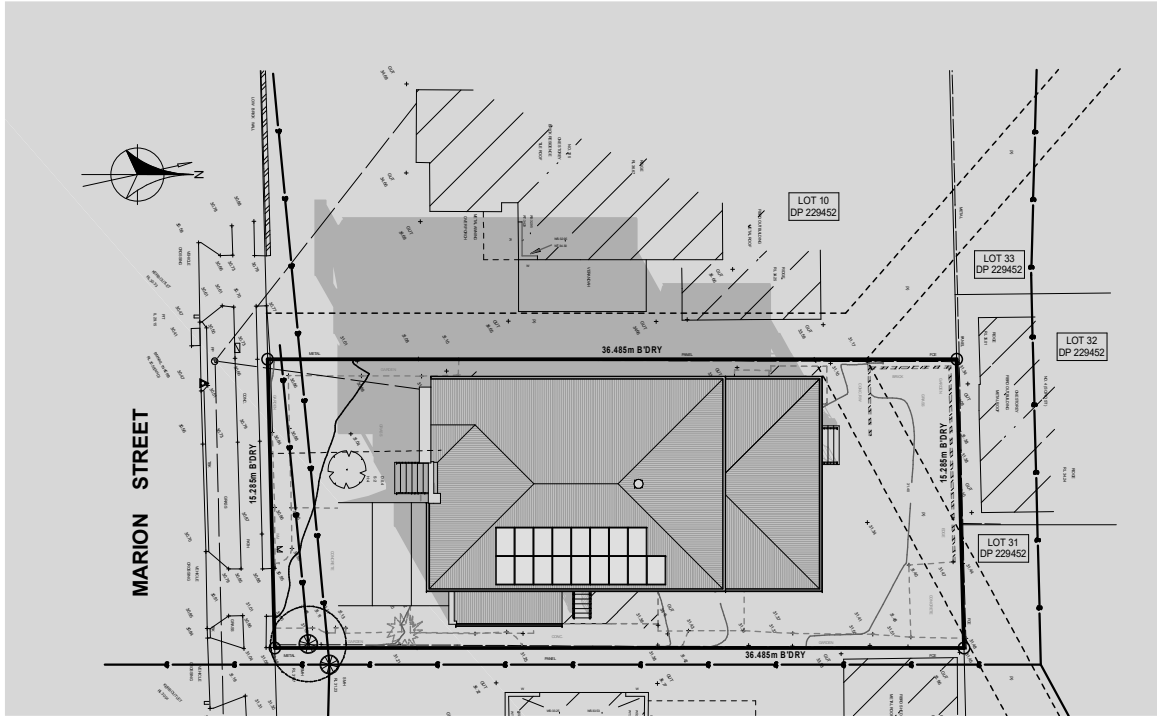
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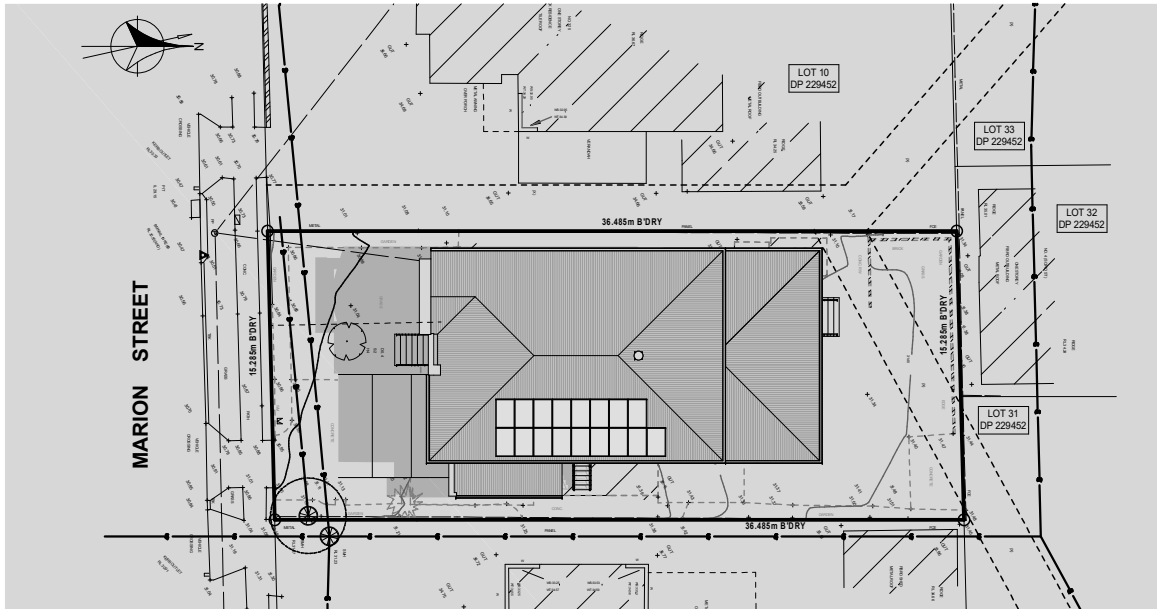
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SHEET:

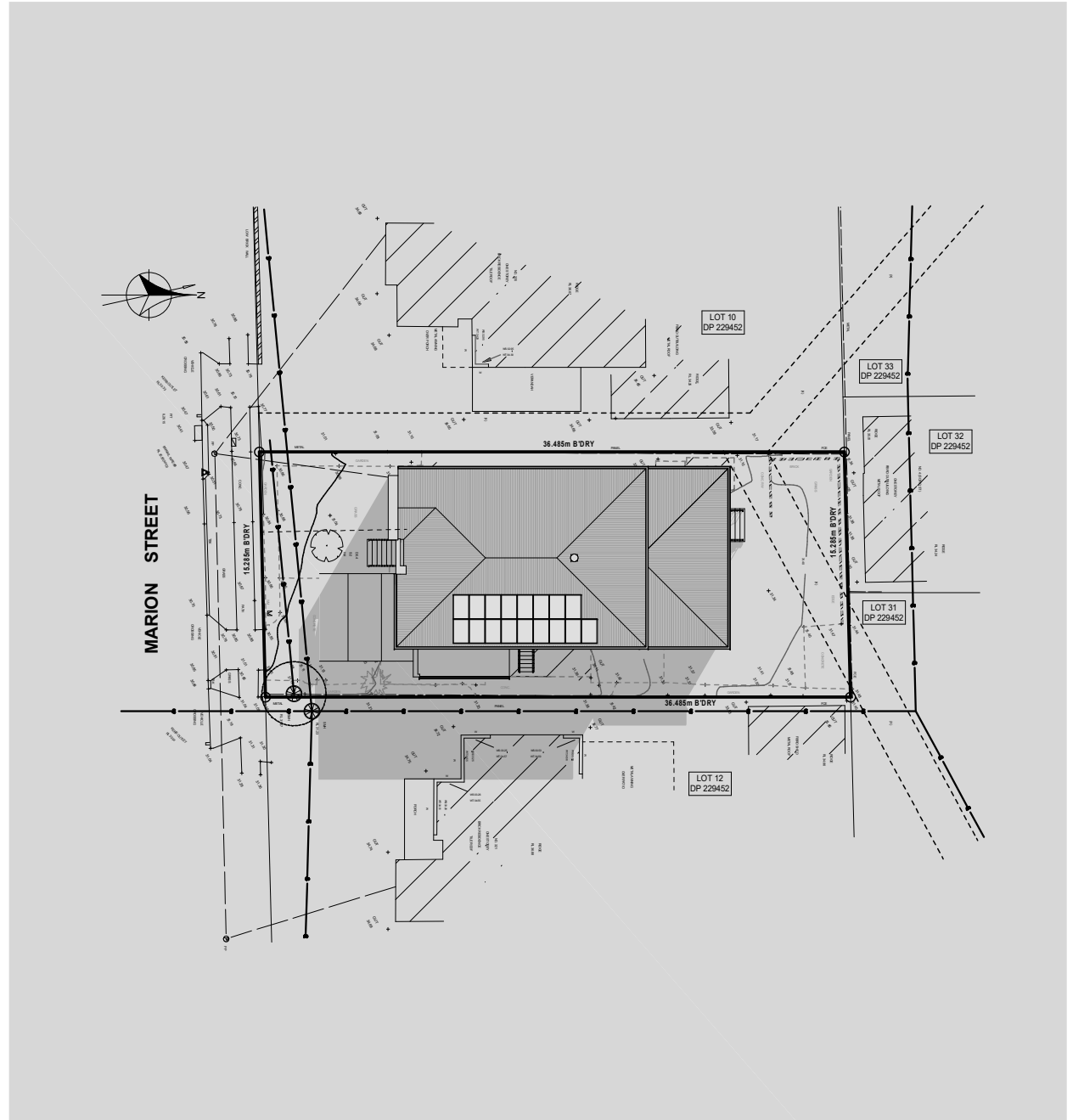
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22 MAR 9AM



22 MAR 12PM



22 MAR 3PM

SHADOW DIAGRAMS MARCH

1:400

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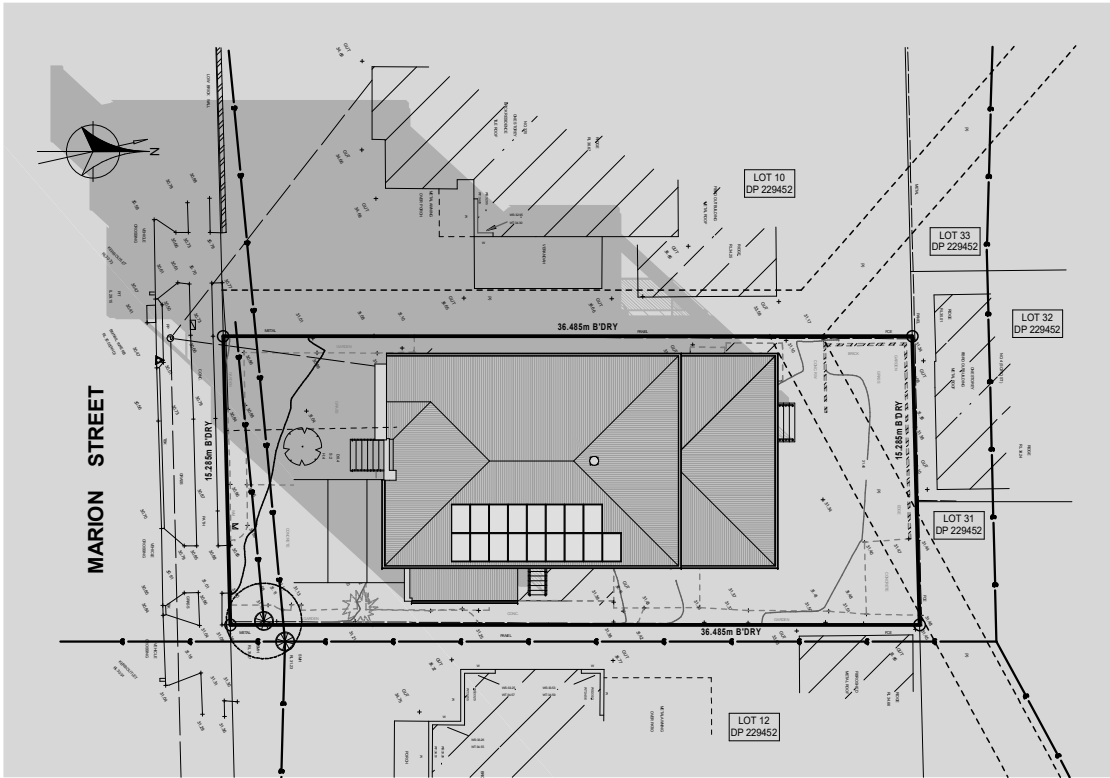
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LODGE MENT:
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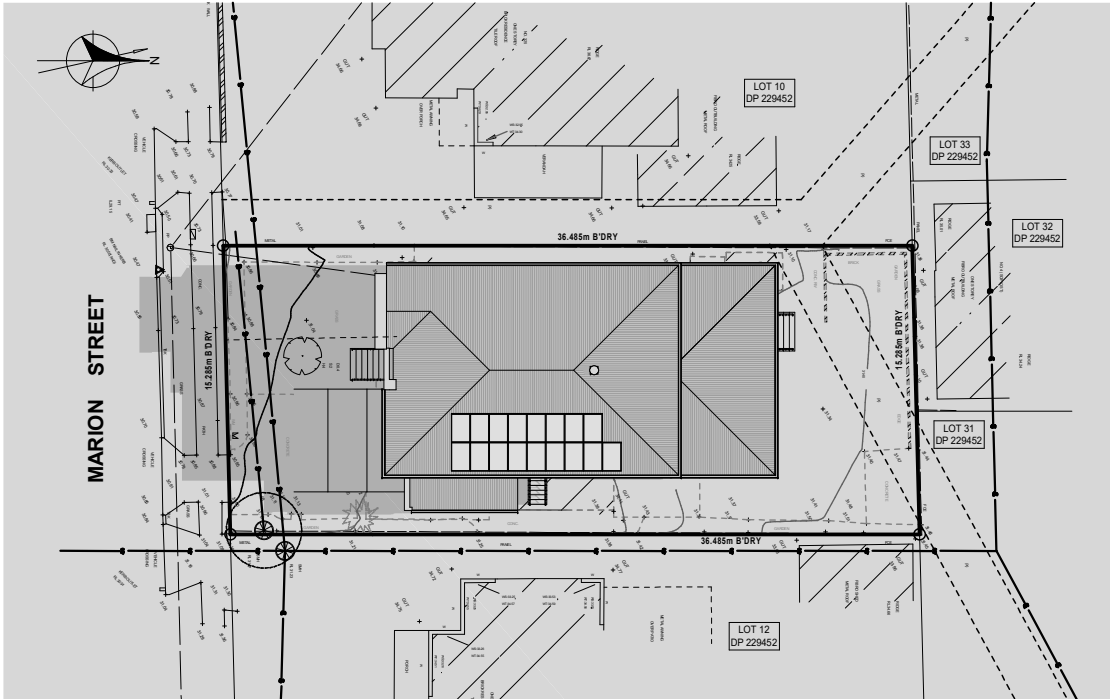
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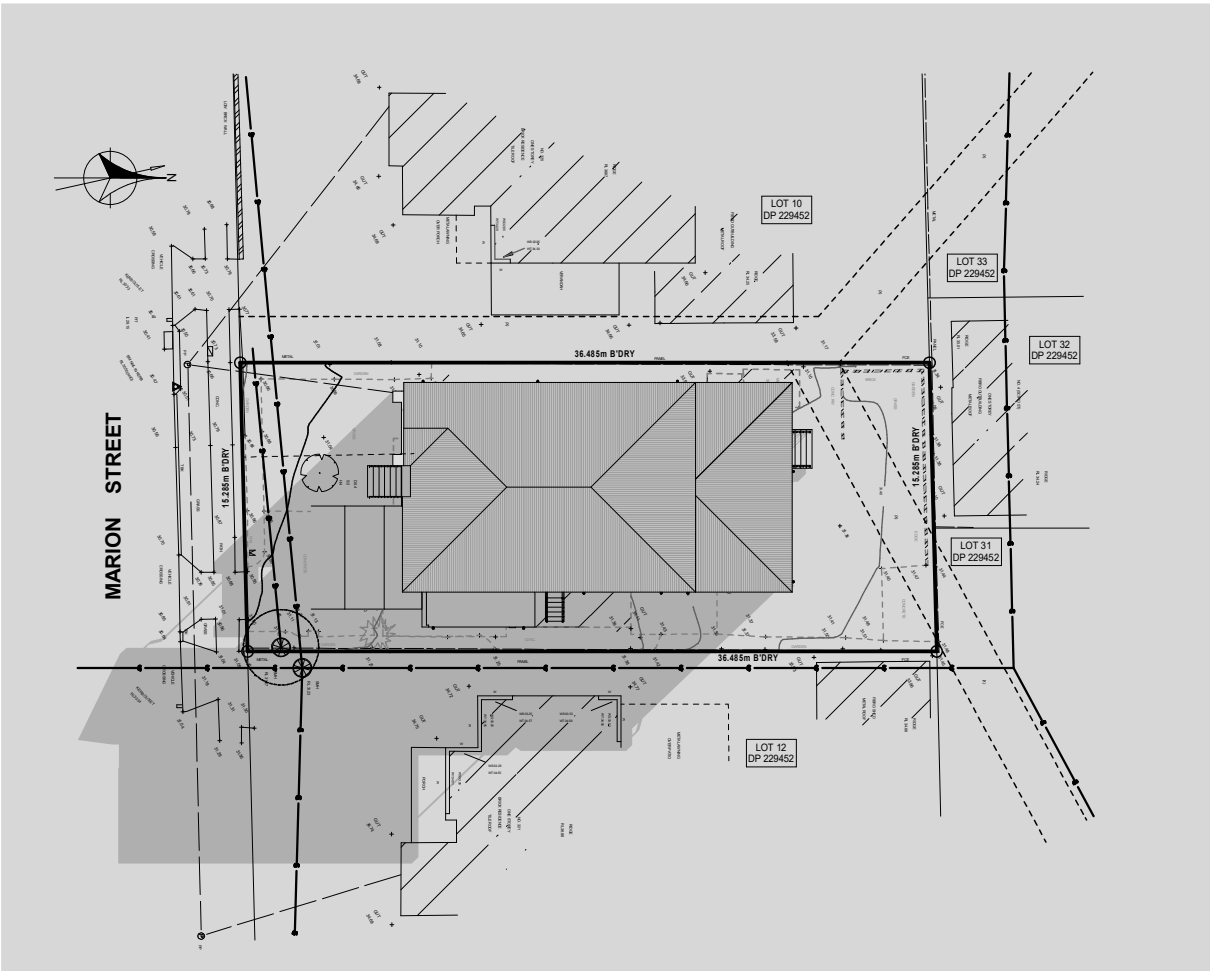
JOB No: 208754	DRAWN: ITS
LGA: CANTERBURY - BANKSTOWN	PLOT DATE: 26/09/2022
DESIGN: ASPIRATION 36	SLAB CLASS: 'H1' CLASS
FACADE: DESIGNER BALCONY	SHEET: 11



22 JUN 9AM



22 JUN 12PM



22 JUN 3PM

SHADOW DIAGRAMS JUNE

1:400

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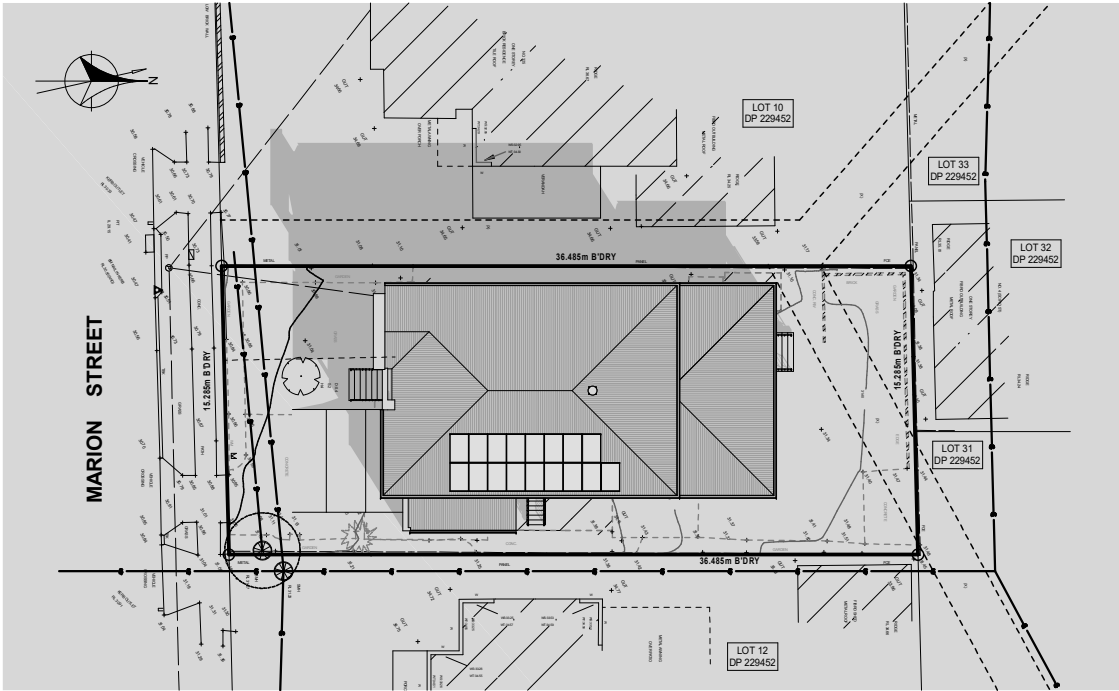
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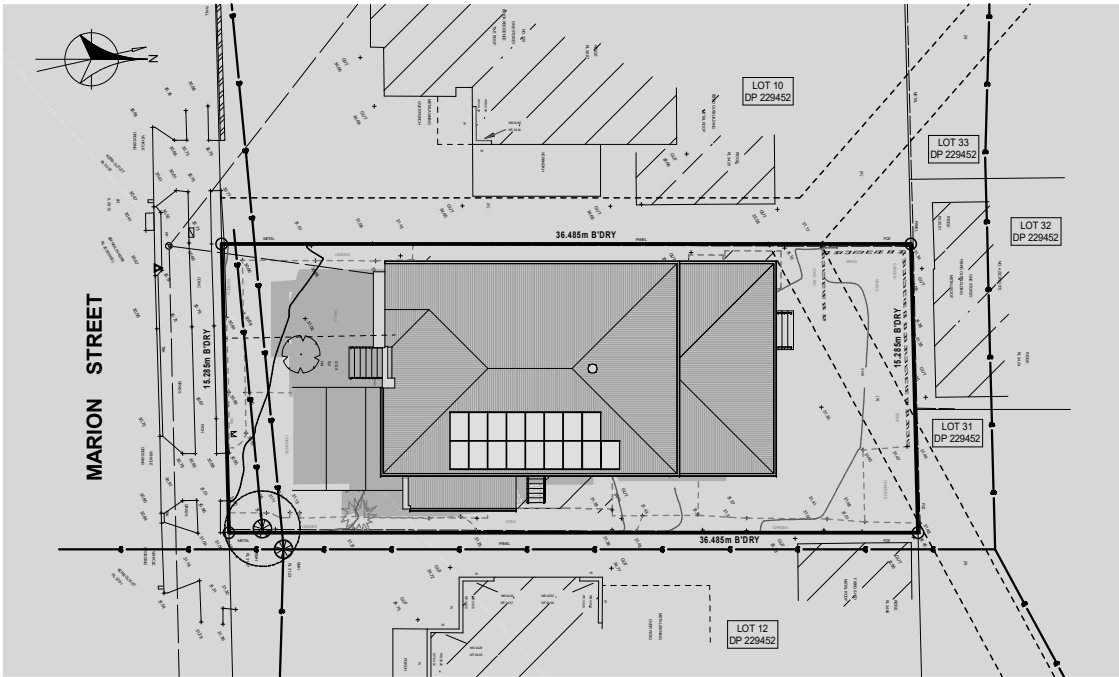
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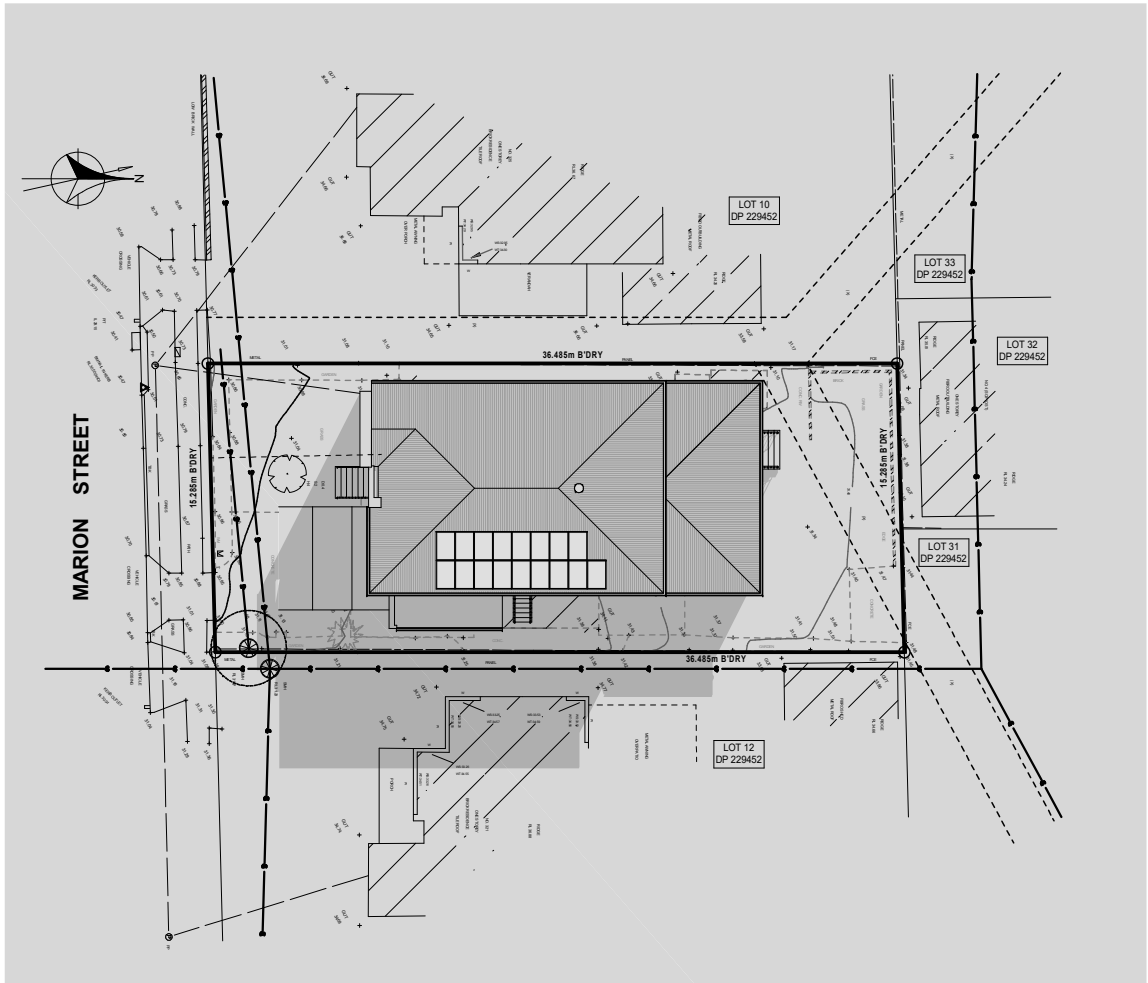
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DESIGN: ASPIRATION 36	SLAB CLASS: 'H1' CLASS
FACADE: DESIGNER BALCONY	SHEET: 12



22 SEP 9AM



22 SEP 12PM




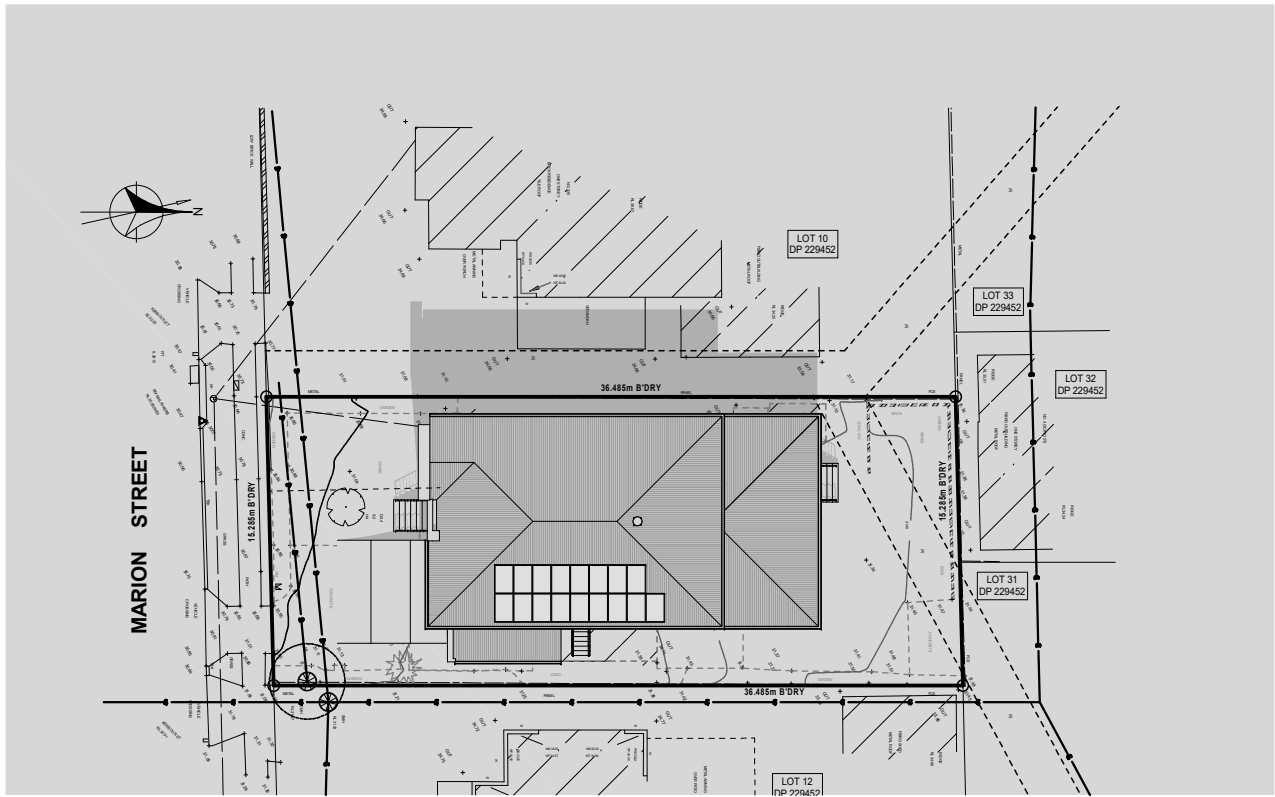
22 SEP 3PM

SHADOW DIAGRAMS SEP

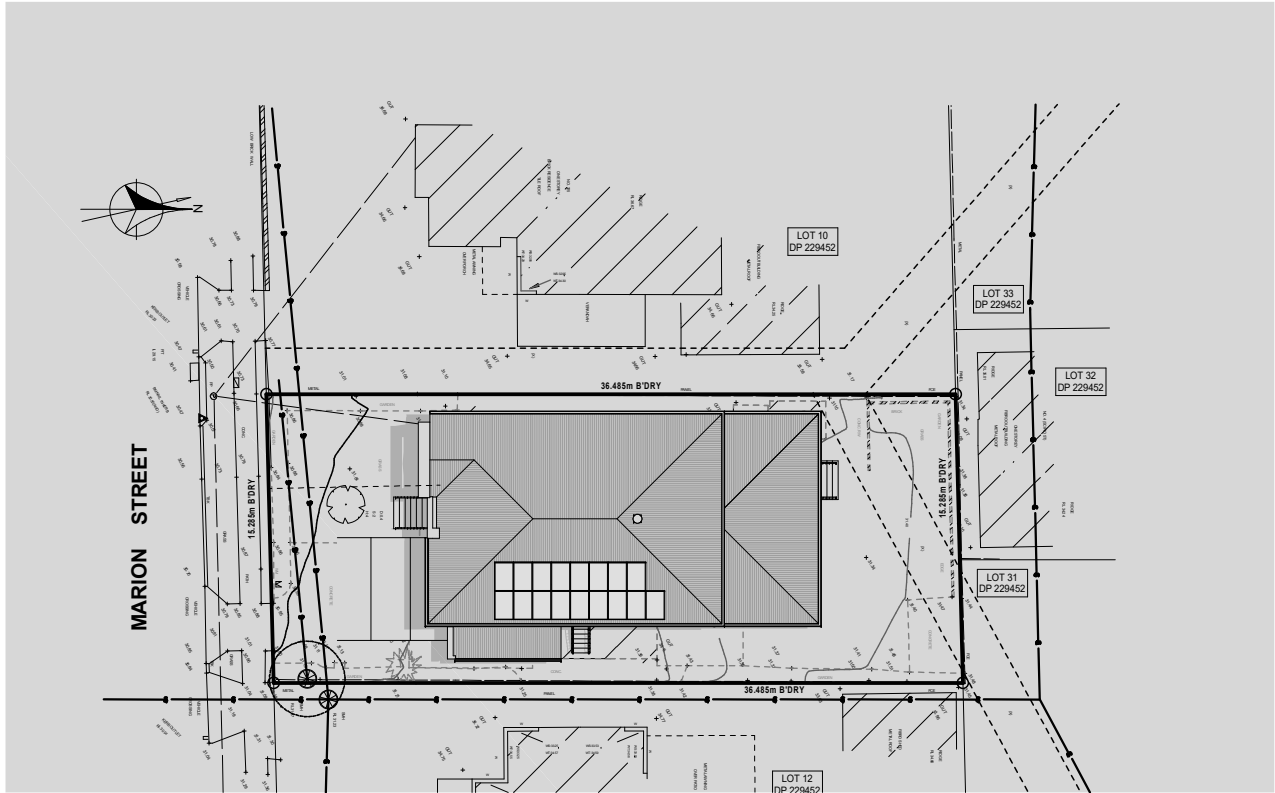
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<div> WISDOM 1300 855 775 wisdomhomes.com.au</div>	PROJECT: PROPOSED BRICK VENEER DWELLING		<div><div><div><div><div><div></div></div></div><div><div><div></div></div></div></div><div>EXHAUST FAN</div><div><div><div><div><div></div></div></div><div><div><div></div></div></div></div><div>SMOKE ALARM AS 3786-1993</div></div><div><div><div>LODGEMENT:</div><div>DP No:</div></div><div><div>D.A/C.C</div><div>229452</div></div></div><div>*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.</div></div></div>	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.				REVISION SCHEDULE				JOB No: 208754		DRAWN: ITS	
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				B-7		SUBMISSION PLANS		MDI		20.09.22		DESIGN: ASPIRATION 36			
				A-2		CONSULTATION PLANS		NK		23/05/22		FACADE: DESIGNER BALCONY			
				A-3		EMAIL DATED 26/05/22		NK		26/05/22		V21			
				A-4		AMENDED CONSULT PLANS		WCL		21.6.22					
				A-5		EMAIL DATED 27/07/22		NK		28/07/22					

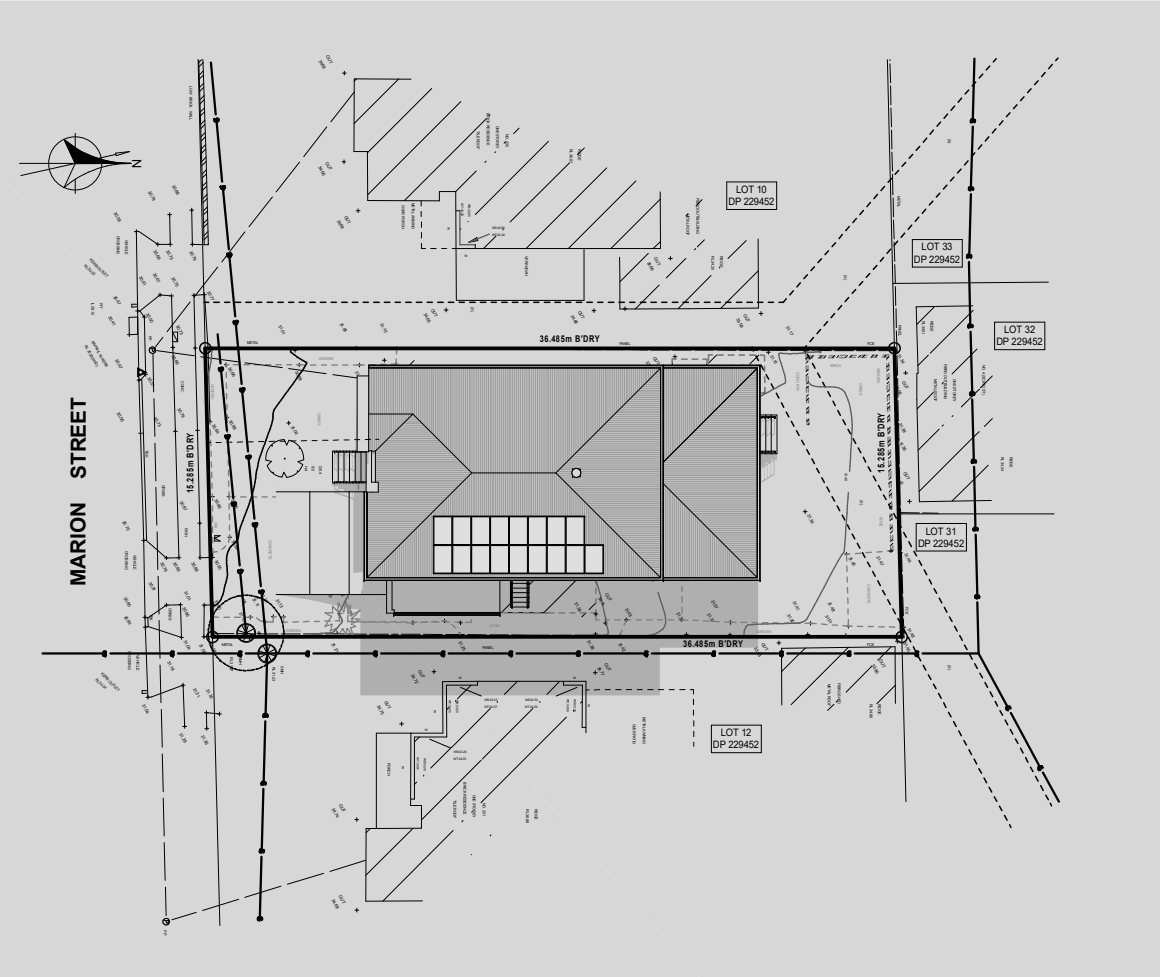


22 DEC 9AM



22 DEC 12PM

SHADOW DIAGRAMS DEC
1:400



22 DEC 3PM

PRESTIGE
ESSENTIALS

NOTES:
* REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
* REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
* REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
* REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
* A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
* FLOOR FINISHES AS SELECTED AS PER TENDER.
* STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF BCA 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013

PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:
Mr A D LE & Mrs H T T HA
ADDRESS:
**Lot 11 No.323 MARION STREET
YAGOONA**

EXHAUST FAN
SMOKE ALARM AS 3786-1993
LODGEMENT:
D.A/C.C
DP No:
229452

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WISDOM PROPERTIES GROUP PTY LTD T/A
WISDOM HOMES. BUILDERS LIC. No 131951C.

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
A-6	EMAIL DATED 11/08/22	ITSNK	31.0116/08/22
B-7	SUBMISSION PLANS	MDI	20.09.22
A-2	CONSULTATION PLANS	NK	23/05/22
A-3	EMAIL DATED 26/05/22	NK	26/05/22
A-4	AMENDED CONSULT PLANS	WCL	21.6.22
A-5	EMAIL DATED 27/07/22	NK	28/07/22

JOB No:
208754
LGA:
CANTERBURY - BANKSTOWN
DESIGN:
ASPIRATION 36
FACADE:
DESIGNER BALCONY

DRAWN:
ITS
PLOT DATE:
26/09/2022
SLAB CLASS:
'H1' CLASS
SHEET:
14